

**CITY OF AUSTIN**  
**Board of Adjustment/Sign Review Board**  
**Decision Sheet**

**DATE: Monday, June 11, 2012**

**CASE NUMBER: C15-2012-0062**

<input checked="" type="checkbox"/>	Y	Jeff Jack
<input checked="" type="checkbox"/>	Y	Michael Von Ohlen
<input checked="" type="checkbox"/>	Y	Nora Salinas
<input checked="" type="checkbox"/>	Y	Bryan King Motion to Grant 2 <sup>nd</sup> variance only
<input checked="" type="checkbox"/>	Y	Susan Morrison
<input checked="" type="checkbox"/>	Y	Will Schnier - Melissa Hawthorne recused 2 <sup>nd</sup> the Motion
<input checked="" type="checkbox"/>	Y	Heidi Goebel
<input type="checkbox"/>	-	Cathy French (SRB only)
<input type="checkbox"/>	-	Dan Graham (SRB only)

**APPLICANT: Kari, Blachly**

**OWNER: Barbara, Wohlgemuth**

**ADDRESS: 1701 BRACKENRIDGE ST**

**VARIANCE REQUESTED:** The applicant has requested a variance to decrease the minimum separation requirement of Section 25-2-774 (C) (2) (a) for a two-family residential use from 15 feet to 0 feet in order to construct an addition and maintain a two-family residential use in an "SF-3-NP", Family Residence – Neighborhood Plan zoning district. The Land Development Code states that for a two-family residential use the second dwelling unit must be located at least 15 feet to the rear of the principal structure.

**BOARD'S DECISION: POSTPONED TO JULY 9, 2012**

The applicant has requested a variance to decrease the minimum rear yard of a through lot setback requirement of Section 25-2-515 from 25 feet to 18 feet in order to maintain a non-complying two-family residential structure in an "SF-3-NP", Family Residence – Neighborhood Plan zoning district.

**BOARD'S DECISION: Board Member Bryan King motion to Grant, Board Member Will Schnier second on a 7-0 vote (Board Member Melissa Hawthorne recused); GRANTED.**

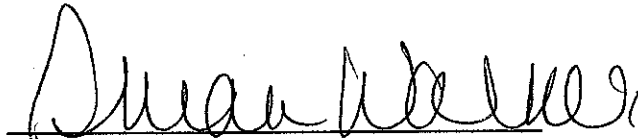
**FINDING:**

1. The Zoning regulations applicable to the property do not allow for a reasonable use because: the existing secondary dwelling unit was built in 1986 prior to the current two family use regulations, the second unit was permitted as a duplex at the time and does not meet current duplex regulations

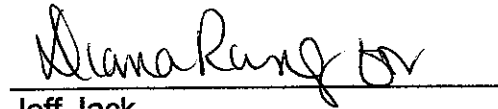
2. (a) The hardship for which the variance is requested is unique to the property in that:  
existing building prior to code change

(b) The hardship is not general to the area in which the property is located because:  
existing building built prior

3. The variance will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:  
structure has been in existence for some time and therefore will not change the area of character, the existing secondary residence couldn't be moved west because of existing trees..



Susan Walker  
Executive Liaison



Jeff Jack  
Chairman

C15-2012-0062

VARIANCE FINDINGS: I contend that my entitlement to the requested variance is based on the following findings (see page 5 of application for explanation of findings):

REASONABLE USE:

1. The zoning regulations applicable to the property do not allow for a reasonable use because:

**This two family structure was legally built in 1986 in its current location. The City approved the building plans despite the oversight of the 25 foot rear yard setback of a through lot encroachment. A building permit was issued and the building passed all the required building inspections and the building permit was "finaled" creating a legal non complying structure. There is no proposed work on this two family structure.**

HARDSHIP:

2. (a) The hardship for which the variance is requested is unique to the property in that:

**A building permit was issued for the two family structure by the City and all subsequent building inspections were approved creating its existing legal non complying classification. The fact that the lot is a through lot was not caught by the City reviewers or inspectors at the time resulting in its legal non complying structure status.**

- (b) The hardship is not general to the area in which the property is located because:

**The oversight of the 25 foot rear yard setback on a through lot by the City and the issuance of the permit resulted in the structure being built 7 feet into the rear yard setback. Any current application for a two family structure would be required to be built within the 25 foot rear yard setback as required in section 25-2-515**

AREA CHARACTER:

3. The variance will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:

**This two family structure was built in 1986 and the immediate neighboring structures at 1710 Drake and 1712 Drake are situated in close proximity to their lot lines and the use has historically been residential which will continue.**

**Walker, Susan**

CS-2012-0062

**From:** Jean mather <jeanmather3@gmail.com>  
**Sent:** Sunday, June 10, 2012 8:06 PM  
**To:** Walker, Susan  
**Cc:** Russell Fraser; Kent Anschutz  
**Subject:** LSD C8i-2011-0286

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Dear Susan,

Would you please pass this on to the BOARD?

Board of Adjustment  
City of Austin

Dear Board Members:

The SRCC Zoning Committee met on June 7 to consider a variance accompanying the applicant's request for a variance to decrease the minimum separation for a two-family residential use from 15 to 0 feet in order to construct an addition which we had previously supported.

The second variance was to decrease the minimum rear setback requirement from 25 feet to 18 feet in order to maintain a non-complying two family residential structure. This structure was permitted in 1986. All lots on this section of Brackenridge run through to Drake whose curb has been treated as a rear lot line for many years as evidenced by many existing structures, some as close as ten feet. The Zoning Committee saw no reason to act on this.

Jean Mather, Chair  
SRCC Zoning Committee

## PUBLIC HEARING INFORMATION

Although applicants and/or their agent(s) are expected to attend a public hearing, you are not required to attend. However, if you do attend, you have the opportunity to speak FOR or AGAINST the proposed development or change. You may also contact a neighborhood or environmental organization that has expressed an interest in an application affecting your neighborhood.

During a public hearing, the board or commission may postpone or continue an application's hearing to a later date, or recommend approval or denial of the application. If the board or commission announces a specific date and time for a postponement or continuation that is not later than 60 days from the announcement, no further notice is required.

A board or commission's decision may be appealed by a person with standing to appeal, or an interested party that is identified as a person who can appeal the decision. The body holding a public hearing on an appeal will determine whether a person has standing to appeal the decision.

An interested party is defined as a person who is the applicant or record owner of the subject property, or who communicates an interest to a board or commission by:

- delivering a written statement to the board or commission before or during the public hearing that generally identifies the issues of concern (*it may be delivered to the contact person listed on a notice*); or
  - appearing and speaking for the record at the public hearing;
- and:

- occupies a primary residence that is within 500 feet of the subject property or proposed development;
- is the record owner of property within 500 feet of the subject property or proposed development; or
- is an officer of an environmental or neighborhood organization that has an interest in or whose declared boundaries are within 500 feet of the subject property or proposed development.

A notice of appeal must be filed with the director of the responsible department no later than 10 days after the decision. An appeal form may be available from the responsible department.

For additional information on the City of Austin's land development process, visit our web site: [www.ci.austin.tx.us/development](http://www.ci.austin.tx.us/development).

Written comments must be submitted to the contact person listed on the notice before or at a public hearing. Your comments should include the name of the board or commission, or Council; the scheduled date of the public hearing; the Case Number; and the contact person listed on the notice.

Case Number: C15-2012-0062 - 1701 Brackenridge  
Contact: Susan Walker, 512-974-2202  
Public Hearing: Board of Adjustment, June 11th, 2012

Your Name (please print)

JOHN WILHELM

☒ I am in favor  
☐ I object

Your address(es) affected by this application

1703 Drake Ave.

Signature

Daytime Telephone:

512-659-7074

Date

6/5/2012

Comments:

Because you are removing parking from the rear of the property, add off-street parking in the event.

If you use this form to comment, it may be returned to:

City of Austin-Planning & Development Review Department/ 1st Floor  
Susan Walker  
P. O. Box 1088  
Austin, TX 78767-1088

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Contact: Susan Walker, 512-974-2202

Public Hearing: Board of Adjustment, June 11th, 2012

Your Name (please print)

John Barkley

☒ I am in favor  
☐ I object

Your address(es) affected by this application

~~3118 W. 41st St.~~ 407 E. Ann St.

Signature

*John Barkley*

Date

6/2/12

Daytime Telephone:

472-2123

Comments:

We should encourage density in this neighborhood. I am in favor of the variance being granted.

If you use this form to comment, it may be returned to:

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Susan Walker  
P. O. Box 1088  
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**Case Number: C15-2012-0062 – 1701 Brackenridge**

**Contact: Susan Walker, 512-974-2202**

**Public Hearing: Board of Adjustment, June 11th, 2012**

S. Wackesher & family

Your Name (please print)

1701 Drake

Your address(es) affected by this application

☒ I am in favor  
☐ I object

AB Walker

Signature

Date

Daytime Telephone: 512 445 7531

Comments:

OK w/retained minimum 3 (three)  
off street impervious parking  
spaces. (currently four);

(I read Repeatedly below June 4-7<sup>th</sup> to  
get clarification from city. Reached: voice  
mail, full mail box (S. Walker) assistant's voice-  
mail & Susan's voice mail. One call back  
If you use this form to comment, it may be returned to:

City of Austin-Planning & Development Review Department/ 1st Floor  
Susan Walker  
P. O. Box 1088  
Austin, TX 78767-1088

to my voice mail from S. Walker only  
repeatedly helpful info. on the application.

& noted she would be out for rest of week.

## PUBLIC HEARING INFORMATION

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**Case Number: C15-2012-0062 – 1701 Brackenridge**

**Contact: Susan Walker, 512-974-2202**

**Public Hearing: Board of Adjustment, June 11th, 2012**

**LYNN COX**

*Your Name (please print)*

☒ I am in favor  
☐ I object

**1800 Brackenridge St**

*Your address(es) affected by this application*

**[Signature]**

*Signature*

**6-5-2012**

*Date*

**Daytime Telephone:**

**Comments:**

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**If you use this form to comment, it may be returned to:**

**City of Austin-Planning & Development Review Department/ 1st Floor  
Susan Walker  
P. O. Box 1088  
Austin, TX 78767-1088**



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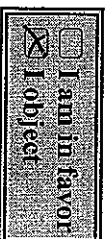
Case Number: C15-2012-0062 - 1701 Brackenridge

Contact: Susan Walker, 512-974-2202

Public Hearing: Board of Adjustment, June 11th, 2012

Your Name (please print)

Tina Currie



Your address(es) affected by this application

1613 Brackenridge

Signature

Tina Currie

Signature

Date

Daytime Telephone: 512-463-0060

Comments: Case # C15-2012-0062

Board of Adjustment

June 11, 2012

Susan Walker

There is a large oak tree near the back house which should be taken into consideration. It is in between the main & rear house.

If you use this form to comment, it may be returned to:

City of Austin-Planning & Development Review Department/ 1st Floor

Susan Walker

P. O. Box 1088

Austin, TX 78767-1088

CASE # C15-2012-0062  
ROW-10767846  
TP-030200-13-05

**CITY OF AUSTIN**  
**APPLICATION TO BOARD OF ADJUSTMENT**  
**GENERAL VARIANCE/PARKING VARIANCE**

**WARNING:** Filing of this appeal stops all affected construction activity.

**PLEASE: APPLICATION MUST BE TYPED WITH ALL REQUESTED INFORMATION COMPLETED.**

STREET ADDRESS: 1701 Brackenridge

LEGAL DESCRIPTION: Subdivision – LSD C8i-2011-0286

Lot(s) \_\_\_\_\_ Block \_\_\_\_\_ Outlot \_\_\_\_\_ Division \_\_\_\_\_

I/We Kari Blachly on behalf of myself/ourselves as authorized agent for

Barbara Wohlgemuth affirm that on March 21, 2012,

hereby apply for a hearing before the Board of Adjustment for consideration to:

ERECT – ATTACH – COMPLETE – REMODEL – MAINTAIN

Construct a addition while maintaining an existing two family use. The distance between the proposed garage and the existing secondary unit is 0' feet requiring a variance from 25-2-774(C)(2)(a) that states that the second dwelling unit must be at least 15 feet to the rear of the principal structure

in a SF-3-~~NP~~-NP district.  
(zoning district)

*Maintain  
rear structure*

The Austin Electric Utility Department (Austin Energy) enforces electric easements and the setback requirements set forth in the Austin Utility Code, Electric Criteria Manual and National Electric Safety Code. The Board of Adjustment considers variance to the Land Development Code, and a variance granted by the Board of Adjustment does not waive the requirements enforced by Austin Energy. Please contact Lena Lund with Austin Energy at 322-6587 before filing your application with the Board of Adjustment if your request is for a reduction in setbacks or height limits.

**NOTE:** The Board must determine the existence of, sufficiency of and weight of evidence supporting the findings described below. Therefore, you must complete each of the applicable Findings Statements as part of your application. Failure to do so may result in your application being rejected as incomplete. Please attach any additional support documents.

VARIANCE FINDINGS: I contend that my entitlement to the requested variance is based on the following findings (see page 5 of application for explanation of findings):

**REASONABLE USE:**

1. The zoning regulations applicable to the property do not allow for a reasonable use because:  
**The existing secondary dwelling unit was built in 1986 prior to the current two family use regulations. The second unit was permitted as a duplex at the time and does not meet current duplex regulations. The placement of the proposed addition which includes an attached garage is driven by the current location of the existing home and secondary dwelling unit, two protected trees and the existing driveway approach.**

**HARDSHIP:**

2. (a) The hardship for which the variance is requested is unique to the property in that:

**The proposed addition which includes an attached garage is driven by the current location of the existing home and secondary dwelling unit, two protected trees and the existing driveway approach.**

- 
- (b) The hardship is not general to the area in which the property is located because:

**The location of the protected trees on the lot as well as the existing secondary dwelling unit and the existing driveway approach created a narrow envelope of where the addition could be built.**

**AREA CHARACTER:**

3. The variance will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:

**The property has been a two family use since 1986 and the neighborhood in which this property is situated is one of the older neighborhoods in Austin that has both existing and new two family uses directly adjacent to this property. The property owner intends to maintain the area character by using the existing driveway and preserving the protected trees.**

**PARKING:** (Additional criteria for parking variances only.)

Request for a parking variance requires the Board to make additional findings. The Board may grant a variance to a regulation prescribed Section 479 of Chapter 25-6 with respect to the number of off-street parking spaces or loading facilities required if it makes findings of fact that the following additional circumstances also apply: Neither present nor

anticipated future traffic volumes generated by the use of the site or the uses of sites in the vicinity reasonable require strict or literal interpretation and enforcement of the specific regulation because:

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1. The granting of this variance will not result in the parking or loading of vehicles on public streets in such a manner as to interfere with the free flow of traffic of the streets because:
- 
- 

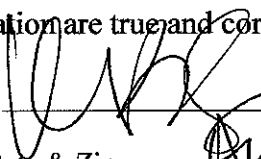
2. The granting of this variance will not create a safety hazard or any other condition inconsistent with the objectives of this Ordinance because:
- 
- 

3. The variance will run with the use or uses to which it pertains and shall not run with the site because:
- 
- 

**NOTE:** The Board cannot grant a variance that would provide the applicant with a special privilege not enjoyed by others similarly situated or potentially similarly situated.

**APPLICANT CERTIFICATE** – I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Signed



Mail Address

2401 E 6th #4063

City, State & Zip

Austin, TX 78702

Printed

David Blachny

Phone

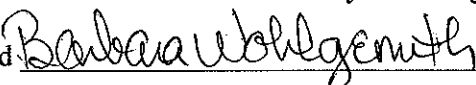
289-0010

Date

4/19/12

**OWNERS CERTIFICATE** – I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Signed



Mail Address

1006 DANIEL DR

City, State & Zip

AUSTIN TX 78704

Printed BARBARA WOHLGEMUTH Phone 512-997-8831 Date 4-13-12

## **GENERAL INFORMATION FOR SUBMITTAL OF A VARIANCE REQUEST TO THE BOARD OF ADJUSTMENT**

(The following is intended to provide assistance in explaining the variance process. These suggestions are not intended to be a complete or exhaustive guide in assisting you through this process.)

### **VARIANCE REQUIREMENTS:**

#### **General Requirements:**

- A. A variance may be granted if, because of special circumstances of a property, the strict application of the Land Development Code regulations deprives the property owner of privileges that are enjoyed by another person who owns property in the area that has the same zoning designation as the property for which the variance is requested.
- B. A variance to a regulation may not grant special privileges that are inconsistent with the limitations on other properties in the area or in the district in which the property is located.

#### **Required Findings:**

The Board of Adjustment is also required to make findings discussed below in order to grant a variance. Applicants must provide the Board with proposed findings.

### **SUBMITTAL REQUIREMENTS:** (Failure to complete the application or to submit all the required materials will result in non-acceptance of the application.)

- (1) A completed application indicating all variances being requested. An application must include proposed findings that will support requested variances. The required findings must address each variance being sought.
- (2) A site plan to scale indicating present and proposed construction and location and use of structures on adjacent lots.
- (3) A tax plat with subject property clearly marked indicating property within a 300-foot radius. These are available from the Travis Central Appraisal District at 8314 Cross Park Drive (834-9138).
- (4) Check made payable to the City of Austin for the Board of Adjustment application fee. (Residential zoning - \$360. All other zonings - \$660.)
- (5) Other Information – Although the following is not a requirement of submittal you may wish to include additional information that may assist the Board in making an informed decision regarding your request such as: photos of the site or visual aids to support the request, letters from the neighborhood association(s) etc. Any additional information you wish to submit must be in our office one week prior to the meeting. The Board will receive a packet with all information that has been submitted on the Thursday prior to the meeting.

Variances approved by the Board are limited to and conditioned upon the plans and specifications presented by the applicants, except as modified by the Board.

**REQUIRED FINDINGS:** All variance findings must be met in order for the Board to grant a variance. An application must include proposed findings that will support the requested variance. Incomplete applications will not be accepted.

#### **Reasonable Use:**

Application must demonstrate to the Board how the zoning regulations applicable to the property do not allow for a reasonable use of the property. [Note: The Board cannot approve a variance for a use that is not allowed in the zoning district in which the property is located. This requires a change in zoning.]



SUBJECT TRACT



ZONING BOUNDARY

CASE#: C15-2012-0062  
LOCATION: 1701 BRACKENRIDGE



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by the Planning and Development Review Department for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.



SRCC Neighborhood Assoc.  
P.O. 40632  
Austin, TX 78704  
[www.srccatx.org](http://www.srccatx.org)

Marc Davis  
[president@srccatx.org](mailto:president@srccatx.org)

Carol Martin  
[vicepresident@srccatx.org](mailto:vicepresident@srccatx.org)

Garret Nick  
[secretary@srccatx.org](mailto:secretary@srccatx.org)

Les Case  
[treasurer@srccatx.org](mailto:treasurer@srccatx.org)

Susan Walker  
Board of Adjustment  
Austin City Hall, City Council Chambers  
301 W. 2nd Street  
Austin, TX 78701

April 12, 2012

Mrs. Walker,

I wanted to inform the Board of Adjustment that SRCC voted to approve Barbara Wohlgemuth's request for a variance for her property at 1701 Brackenridge St. at our April 2nd General Membership meeting.

Our Zoning and Land Use Committee reviewed the request and determined that, because it was an internal issue (not affecting any adjoining properties) and it allowed for several large trees to be saved, the variance should be supported. The General Membership agreed and voted to approve the variance.

Regards,

Marc Davis  
President



# City of Austin BUILDING PERMIT

PERMIT NO: 1986-024751-BP

Type: RESIDENTIAL

Status: Final

1701 BRACKENRIDGE ST

Issue Date: 10/08/1986

EXPIRY DATE: 12/30/1986

LEGAL DESCRIPTION Lot: 8 Block: Subdivision:		SITE APPROVAL		ZONING			
PROPOSED OCCUPANCY: Add To Exist Res To Create A Duplex		WORK PERMITTED: Addition		ISSUED BY:			
TOTAL SQFT	VALUATION Tot Val Rem: \$0.00	TYPE CONST.	USE CAT. 434	GROUP	FLOORS 2	UNITS 1	# OF PKG SPACES
TOTAL BLDG. COVERAGE	% COVERAGE	TOTAL IMPERVIOUS COVERAGE	% COVERAGE	# OF BATHROOMS	METER SIZE		

Fee Desc	Amount	Date	Fee Desc	Amount	Date	Fee Desc	Amount	Date
Building Permit Fee	120.00	10/8/1986	Electrical Permit Fee	66.00	12/3/1986	Plumbing Permit Fee	45.00	10/28/1986
<b>Fees Total:</b>	<b>231.00</b>							

## Inspection Requirements

Building Inspection  
Water Tap Inspection

Mechanical Inspection

Plumbing Inspection

Sewer Tap Inspection

All Buildings, Fences, Landscaping, Patios, Flatwork And Other Uses Or Obstructions Of A Drainage Easement Are Prohibited, Unless Expressly Permitted By A License Agreement Approved By COA Authorizing Use Of The Easement.

City Code Chapter 25-12, Article 13: A permit expires on the 181st day if the project has not scheduled nor received an inspection.  
A "Cancelled" and/or "Failed/No Work Performed" inspection result does not extend the expiration date.

The following permits are required as a separate permit: See Mechanical, Electrical, Plumbing permits for Related Fees and Inspections.

## Comments

Water & Wastewater Existing. Living Area = 648\*\*\* Rel Celeste Temp Gas 90days Per S.H.Temp Elec Rel Fran 12-31-86 Ovhd A&B

By Accepting Or Paying For This Permit You are Declaring That You Are The Owner Or Authorized By The Owner That The Data Submitted At The Time Of Application Was True Facts And That The Work Will Conform To The Plans And Specification Submitted Herewith.





# City of Austin BUILDING PERMIT

PERMIT NO: 1986-024751-BP

1701 BRACKENRIDGE ST

Type: RESIDENTIAL

Status: Final

Issue Date: 10/08/1986

EXPIRY DATE: 12/30/1986

LEGAL DESCRIPTION Lot: 8 Block: Subdivision:				SITE APPROVAL		ZONING			
PROPOSED OCCUPANCY: Add To Exist Res To Create A Duplex		WORK PERMITTED: Addition			ISSUED BY:				
TOTAL SQFT		VALUATION Tot Val Rem: \$00		TYPE CONST.	USE CAT. 434	GROUP	FLOORS 2	UNITS 1	# OF PKG SPACES
TOTAL BLDG. COVERAGE		% COVERAGE	TOTAL IMPERVIOUS COVERAGE		% COVERAGE	# OF BATHROOMS		METER SIZE	

Type	Date	Status	Comments	Inspector
101 Building Layout	10/30/1986	Pass	MIGRATED FROM PIER.	
102 Foundation	12/22/1986	Pass	MIGRATED FROM PIER.	
103 Framing	12/9/1986	Pass	MIGRATED FROM PIER.	
104 Insulation	12/12/1986	Pass	MIGRATED FROM PIER.	
105 Wallboard	12/15/1986	Pass	MIGRATED FROM PIER.	
111 Energy Final	12/31/1986	Pass	MIGRATED FROM PIER.	
112 Final Building	12/30/1986	Pass	MIGRATED FROM PIER.	
611 Water Tap	1/5/1988	Pass		

G. Helen Glass

1701 Brackenridge St

125 8 No. 21 of lot 9

126

Fairview Park

Remodel & Repair present Res to create duplex

73192

6/17/59

150.00

O. H. Ludwig

DUPLEX

Architects  
Clayton & Little

**Clayton & Little**

Local Exam Info @ [www.pearsoned.com](http://www.pearsoned.com)  
 American Exam @ [www.pearsoned.com](http://www.pearsoned.com)  
 1-800-477-2727

www.dynamilis.com



Prior to performing any bidding or construction, and/or making any commitment, shall visit the site, inspect all existing conditions, and report any discrepancies to the architect.

**BASIC DESIGN PACKAGE**  
At Doran's direction, this set of drawings includes a basic design package which represents design intent only. The responsibility for selection of materials, methods and techniques of construction, and compliance with local building codes are the responsibility of the Contractor and/or Owner.

G1.0	COVER SHEET
D1.0	DEMOLITION PLAN
A1.1	GROUND FLOOR PLAN
A1.2	SECOND FLOOR PLAN
A1.3	ROOF PLAN
A2.0	EXTERIOR ELEVATIONS
A2.1	EXTERIOR ELEVATIONS
A3.0	BUILDING SECTIONS AND SCHEDULES
A3.1	WALL SECTIONS
A4.0	INTERIOR ELEVATIONS
A4.1	INTERIOR ELEVATIONS

SITE INFORMATION TAKEN FROM SURVEY  
BY B&G SURVEYING DATED 02-11-2011.

## SF-3

BUILDING CODES INTERNATIONAL RESIDENTIAL CODE 2009 - CITY OF AUSTIN ADJUSTMENTS  
BUILDING DESCRIPTION: RESIDENTIAL ADDITION AND RENOVATION

LOCAL JURISDICTION: TOWN OF TOWN

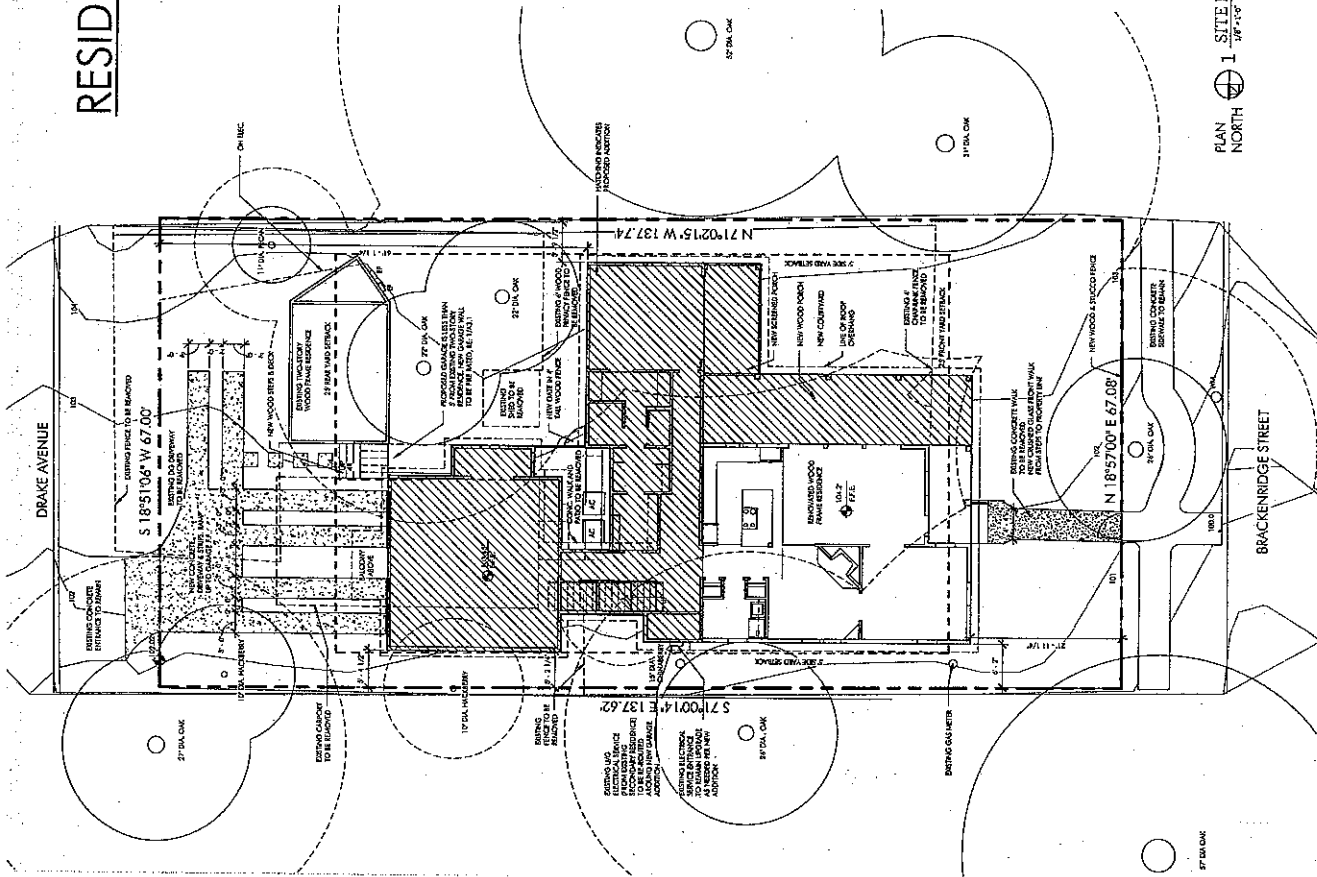
[illegible]

A diagram of a room layout. At the top, there is a row of four rectangular items: a 'BEDSIDE TABLE', a 'BEDSIDE TABLE', a 'TV', and a 'BEDSIDE TABLE'. Below these, on the left, is a 'BED' with a 'PILLOW' and 'BLANKET' icon. In the center is a 'CHAIR' with a 'PILLOW' and 'BLANKET' icon. To the right of the chair is a 'COUCH' with a 'PILLOW' and 'BLANKET' icon. At the bottom is a 'SOFABED' with a 'PILLOW' and 'BLANKET' icon. A person is standing in the center of the room, facing the couch. The room is labeled 'Room name' at the bottom.

BARBARA WOHLGEMUTH  
1701 BRACKENRIDGE  
AUSTIN, TX 78704

LOT 8 & NORTH 21' OF LOT 9 FAIRVIEW PARK,  
VOL. 2 PAGE 168 TRAVIS COUNTY PLAT RECORDS

PLAN NORTH





**FIELD INSTRUMENT REQUIRED**

Plans are preliminary and fielding  
may be required. Fielding is required  
for all work. The Engineer is not  
responsible for the accuracy of the  
information provided by the fielding.

**ARCHITECTURAL PACKAGE**

Architectural Package includes all  
plans, specifications, and contract  
documents. The Architect is not  
responsible for the accuracy of the  
information provided by the fielding.

# 1701 Bracklenridge

1701 Bracklenridge Austin, Texas 78704

DATE	REVISION
10/1/10	1
10/1/10	2
10/1/10	3
10/1/10	4
10/1/10	5
10/1/10	6
10/1/10	7
10/1/10	8
10/1/10	9
10/1/10	10

PROJECT NUMBER: 104

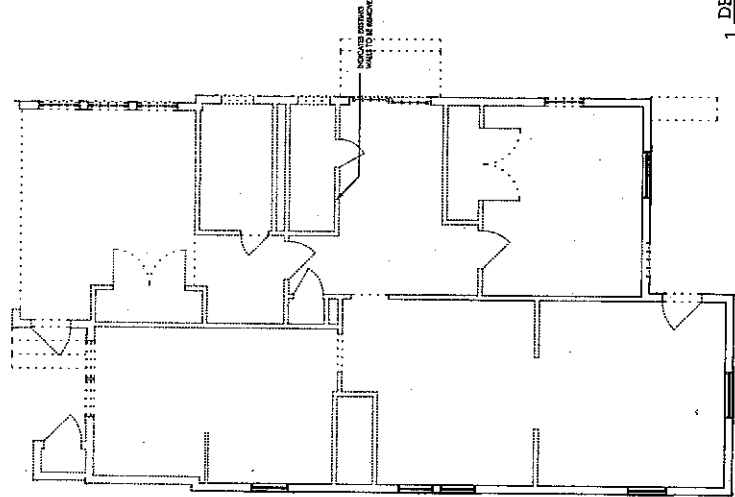
DEMOLITION PLAN

## D1.0

1 DEMOLITION PLAN  
1/4" = 1'-0"

**WALL LEGEND**

- EXISTING WALL TO REMAIN
- EXISTING TO BE DEMOLISHED



Architectural floor plan of a two-story house. The plan includes a Garage (8' x 20'), Kitchen (10' x 12'), Living Room (12' x 16'), Dining Room (12' x 14'), Den (10' x 12'), Master Bedroom (12' x 14'), Master Bath (5' x 7'), and a Back Hall. It also features a Covered Porch, a Screened Porch, and a Utility Room. The plan is annotated with numerous dimensions, room labels, and construction notes. A north arrow is located in the upper right corner.



**FIELD INSPECTION REQUIRED**  
Prior to performing any building work, the contractor shall inspect the existing conditions of the building and the site to verify the information shown on the drawings. Any discrepancies shall be reported to the architect immediately.

**MADE DESIGN PACKAGE**  
A/C Owner's Manual, C/C set of drawings, and all other information necessary for the contractor to perform the work. The contractor shall be responsible for obtaining all necessary permits and for coordinating with all other trades.

# 1701 Brackenridge

DATE	REVISION
10/1/10	1.0
10/1/10	1.1
10/1/10	1.2
10/1/10	1.3
10/1/10	1.4
10/1/10	1.5
10/1/10	1.6
10/1/10	1.7
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10/1/10	1.9
10/1/10	1.10

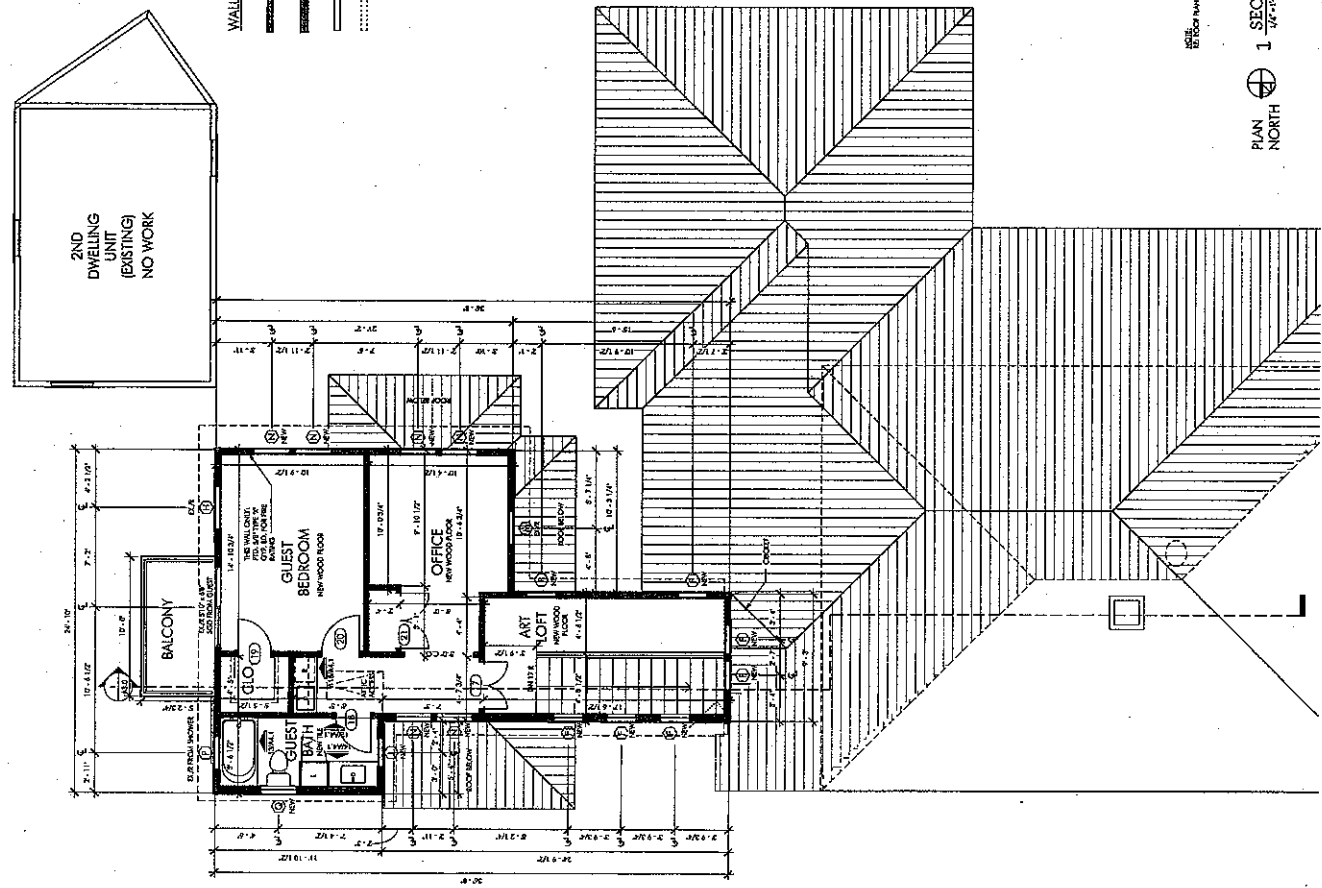
PROJECT NUMBER: 104  
SECOND FLOOR PLAN

## A1.2

### WALL LEGEND

- EXISTING WALL
- NEW WALL
- DEMOLITION WALL
- GLASS WALL
- GLASS PARTITION
- GLASS CURTAIN WALL
- GLASS DOOR
- GLASS WINDOW
- GLASS SKYLIGHT
- GLASS ROOF
- GLASS FLOOR
- GLASS CEILING
- GLASS BALCONY
- GLASS STAIR
- GLASS ELEVATOR
- GLASS RAMP
- GLASS PORCH
- GLASS TERRACE
- GLASS PATIO
- GLASS DRIVEWAY
- GLASS GARAGE
- GLASS PORCH
- GLASS TERRACE
- GLASS PATIO
- GLASS DRIVEWAY
- GLASS GARAGE

NOT TO BE EXCLUDED



1701 Brackenridge Austin, Texas 78704

1 SECOND FLOOR PLAN

PLAN NORTH

Architect  
Clayton & Co.

1701 Brackentridge Austin, Texas 78704  
512.477.1777  
www.claytonandco.com



**FIELD INSTRUCTIONS REQUIRED**  
Please refer to the following instructions for field construction of this roof plan. All dimensions are given in feet and inches. All dimensions are given to the center of the roof unless otherwise noted. All dimensions are given to the center of the roof unless otherwise noted.

**NOTES TO THE FIELD**  
1. All dimensions are given to the center of the roof unless otherwise noted.  
2. All dimensions are given to the center of the roof unless otherwise noted.  
3. All dimensions are given to the center of the roof unless otherwise noted.  
4. All dimensions are given to the center of the roof unless otherwise noted.  
5. All dimensions are given to the center of the roof unless otherwise noted.

# 1701 Brackentridge

1701 Brackentridge Austin, Texas 78704

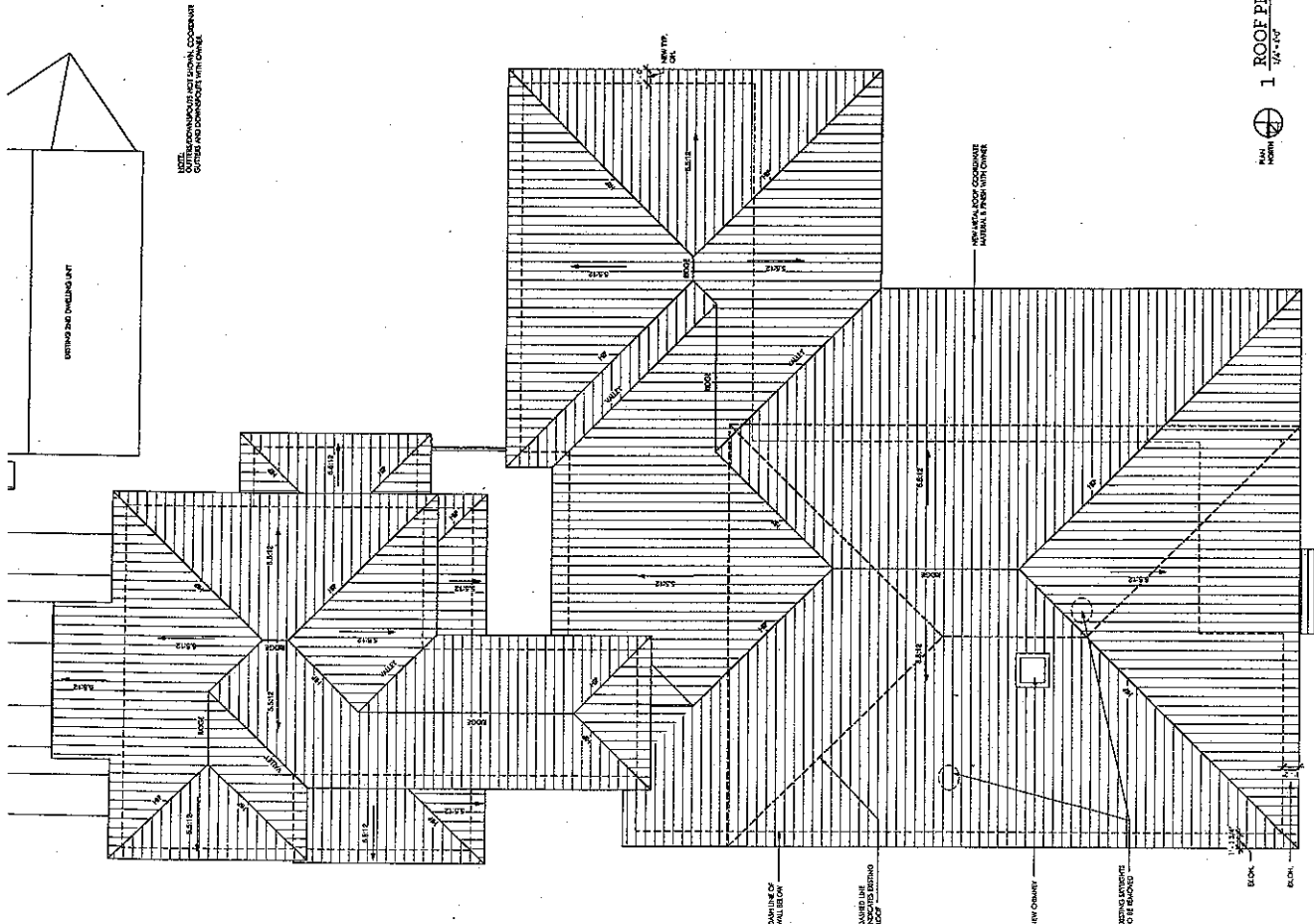
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01/01/2010	1.0
01/01/2010	1.0
01/01/2010	1.0
01/01/2010	1.0
01/01/2010	1.0
01/01/2010	1.0

PROJECT NUMBER: 104

ROOF PLAN

## A1.3

1 ROOF PLAN  
1/4" = 1'-0"



NOTE:  
EXISTING AND IMAGINARY  
CONSTRUCTION WITH OWNER

EXISTING AND IMAGINARY

NEW CHANGE  
DASH LINE OF ROOF TO BE REMOVED

DASH LINE OF WALL BELOW

DASH LINE OF ROOF TO BE REMOVED

NEW CHANGE

DASH LINE OF ROOF TO BE REMOVED

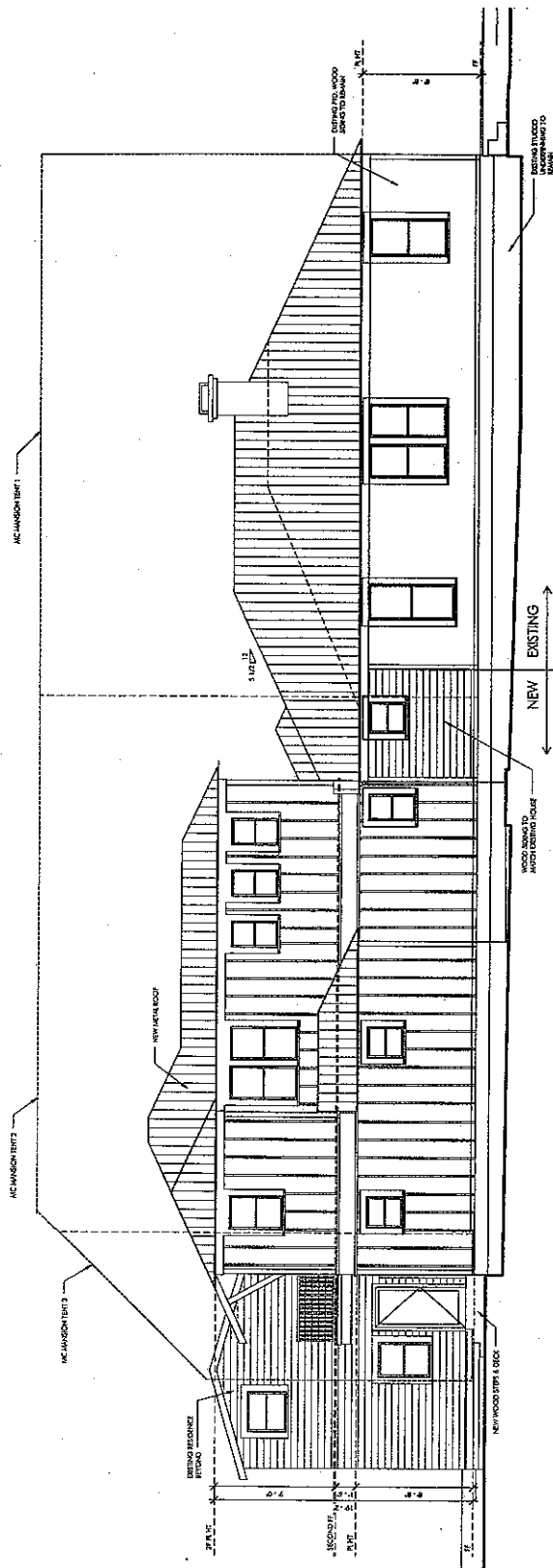
NEW CHANGE

DASH LINE OF ROOF TO BE REMOVED

NEW CHANGE

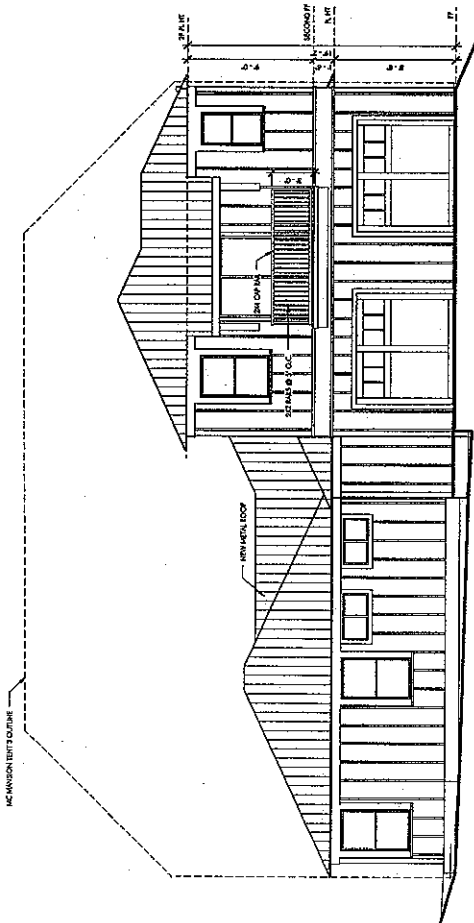






**NORTH ELEVATION**

11. A2.0 FOR MATERIAL SUBSTITUTION



EAST ELEVATION

2008-03-27



**FIELD IMPACT TEST REQUIRED**  
Prior to construction, the field impact test shall be performed on the concrete foundation and walls. The test shall be performed in accordance with the requirements of the American Concrete Institute (ACI) 308.1R-90. The test results shall be submitted to the engineer for review and approval.

**BASIC DESIGN PACKAGE**  
All structural elements shall be designed for a live load of 40 psf. The design shall be in accordance with the requirements of the American Institute of Steel Construction (AISC) 360-10 and the American Concrete Institute (ACI) 318-11. The design shall be submitted to the engineer for review and approval.

# 1701 Brackenridge

DATE	03/20/17
DRAWN BY	CLAYTON/SMITH
CHECKED BY	CLAYTON/SMITH
APPROVED BY	CLAYTON/SMITH
SCALE	AS SHOWN

PROJECT NUMBER: 1701  
BUILDING SECTIONS AND  
DETAILS

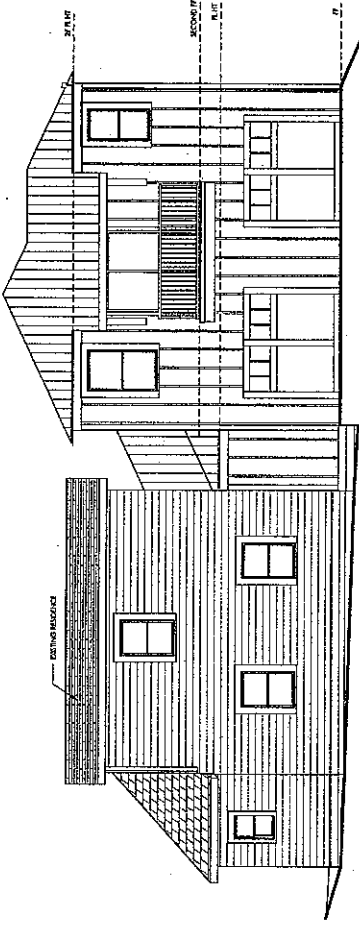
## A3.0

**DOOR SCHEDULE**  
1. ALL DOORS SHALL BE 3'-0" WIDE BY 7'-0" HIGH.  
2. ALL DOORS SHALL BE 1/2" MINIMUM THICKNESS.  
3. ALL DOORS SHALL BE 1/2" MINIMUM THICKNESS.  
4. ALL DOORS SHALL BE 1/2" MINIMUM THICKNESS.  
5. ALL DOORS SHALL BE 1/2" MINIMUM THICKNESS.  
6. ALL DOORS SHALL BE 1/2" MINIMUM THICKNESS.  
7. ALL DOORS SHALL BE 1/2" MINIMUM THICKNESS.  
8. ALL DOORS SHALL BE 1/2" MINIMUM THICKNESS.  
9. ALL DOORS SHALL BE 1/2" MINIMUM THICKNESS.  
10. ALL DOORS SHALL BE 1/2" MINIMUM THICKNESS.

DOOR #	WIDTH	HEIGHT	COMMENTS
1	3'-0"	7'-0"	
2	3'-0"	7'-0"	
3	3'-0"	7'-0"	
4	3'-0"	7'-0"	
5	3'-0"	7'-0"	
6	3'-0"	7'-0"	
7	3'-0"	7'-0"	
8	3'-0"	7'-0"	
9	3'-0"	7'-0"	
10	3'-0"	7'-0"	
11	3'-0"	7'-0"	
12	3'-0"	7'-0"	
13	3'-0"	7'-0"	
14	3'-0"	7'-0"	
15	3'-0"	7'-0"	
16	3'-0"	7'-0"	
17	3'-0"	7'-0"	
18	3'-0"	7'-0"	
19	3'-0"	7'-0"	
20	3'-0"	7'-0"	
21	3'-0"	7'-0"	
22	3'-0"	7'-0"	
23	3'-0"	7'-0"	

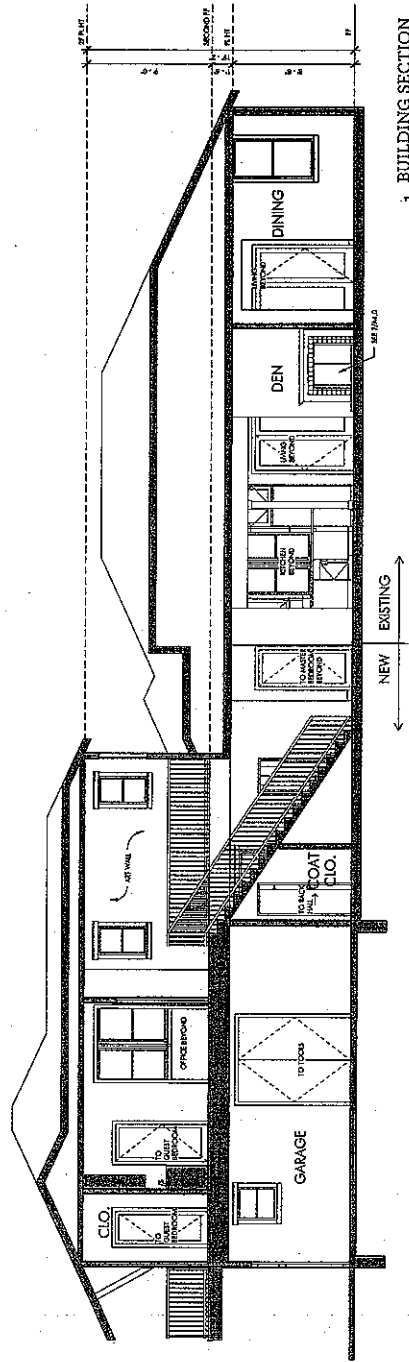
**WINDOW SCHEDULE**  
1. ALL WINDOWS SHALL BE 1/2" MINIMUM THICKNESS.  
2. ALL WINDOWS SHALL BE 1/2" MINIMUM THICKNESS.  
3. ALL WINDOWS SHALL BE 1/2" MINIMUM THICKNESS.  
4. ALL WINDOWS SHALL BE 1/2" MINIMUM THICKNESS.  
5. ALL WINDOWS SHALL BE 1/2" MINIMUM THICKNESS.  
6. ALL WINDOWS SHALL BE 1/2" MINIMUM THICKNESS.  
7. ALL WINDOWS SHALL BE 1/2" MINIMUM THICKNESS.  
8. ALL WINDOWS SHALL BE 1/2" MINIMUM THICKNESS.  
9. ALL WINDOWS SHALL BE 1/2" MINIMUM THICKNESS.  
10. ALL WINDOWS SHALL BE 1/2" MINIMUM THICKNESS.

TYPE	DESCRIPTION	WIDTH	HEIGHT
A	4H	3'-0"	7'-0"
B	4H	3'-0"	7'-0"
C	4H	3'-0"	7'-0"
D	4H	3'-0"	7'-0"
E	4H	3'-0"	7'-0"
F	4H	3'-0"	7'-0"
G	4H	3'-0"	7'-0"
H	4H	3'-0"	7'-0"
I	4H	3'-0"	7'-0"
J	4H	3'-0"	7'-0"
K	4H	3'-0"	7'-0"
L	4H	3'-0"	7'-0"
M	4H	3'-0"	7'-0"
N	4H	3'-0"	7'-0"
O	4H	3'-0"	7'-0"
P	4H	3'-0"	7'-0"
Q	4H	3'-0"	7'-0"



2 EAST ELEVATION 2  
1/4" = 1'-0"

SCALE FOR BUILDING INFORMATION IS 1/4" = 1'-0"



1 BUILDING SECTION 1  
1/4" = 1'-0"



**FIELD REVISIONS REQUIRED**  
None to this drawing. All field changes must be made on a separate sheet and the original drawing must be corrected and resubmitted to the client for approval.

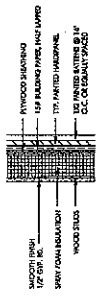
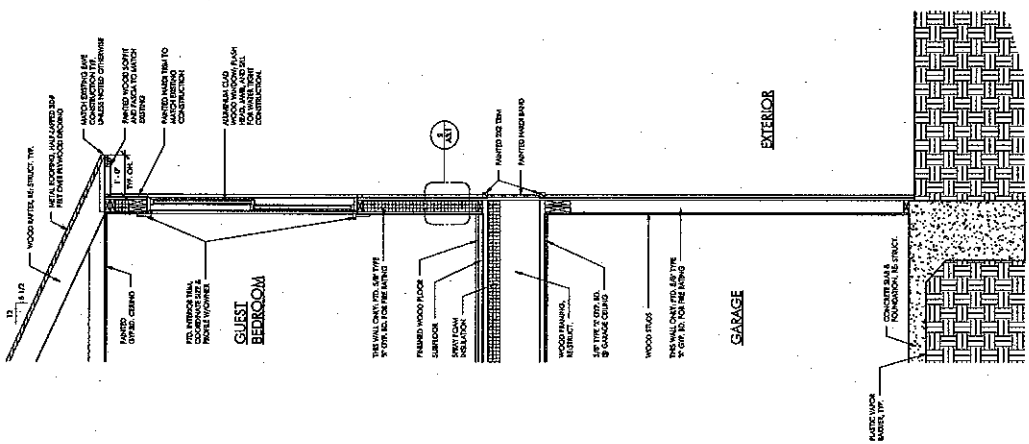
**ARCHITECTURE PACKAGE**  
This drawing is part of a set of drawings for the construction of a new residence. It is to be used in conjunction with the other drawings in the set. The architect assumes no responsibility for the accuracy of the information provided on this drawing or for the results of its use.

# 1701 Brackenridge

1701 Brackenridge Austin, Texas 78704

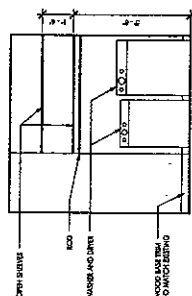
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12/1/78	100

**A3.1**

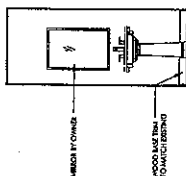


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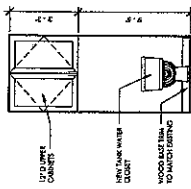
10 UTILITY - WEST



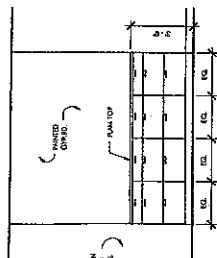
11. POWDER - WEST



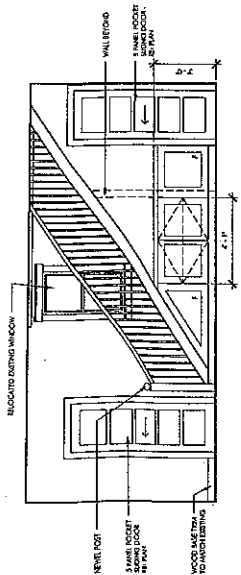
## 1.2 POWDER - EAST



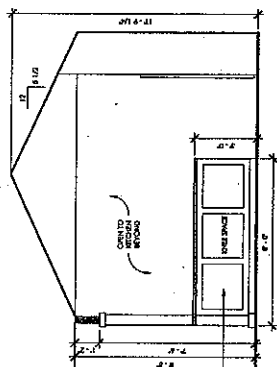
13 HALL - EAST  
3/6 - 1st



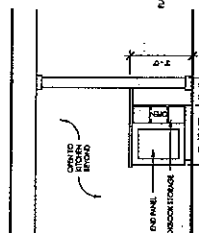
14 HALL - WEST  
3/8" x 1/8"



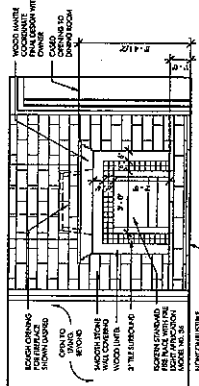
KITCHEN ISLAND - WEST



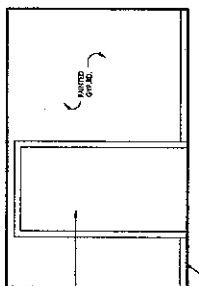
6 KITCHEN ISLAND - NORTH  
3/8" = 1'-0"



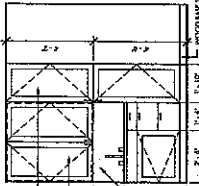
DEN-SOUTHWEST



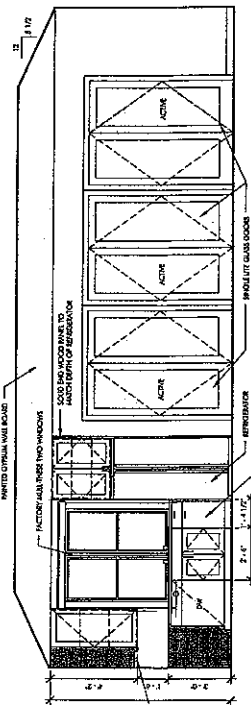
3 DINING - EAST  
1/8" x 1-6"



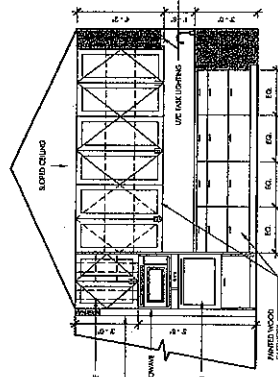
UTILITY - EAST.



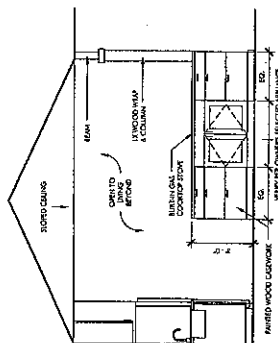
## KITCHEN/LIVING - SOUTH



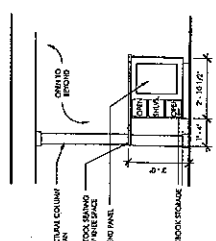
2 KITCHEN - EAST



**KITCHEN ISLAND - EAST**



4 KITCHEN ISLAND - SOUTH  
3/8" x 1'-0"



**NOTE: CABINET STYLE TO BE SELECTED BY OWNER.**

1701 Brackenridge  
1701 Brackenridge Austin, Texas 78704

DATE	ISSUED BY
4-11-88	Schwartz
8-24-88	Design Div.
8-23-88	Insulator Div. Removal
12-20-88	Chase Building
8-20-88	Design Development
10-12-88	For Construction

1. *Journal of the American Medical Association*, 2000; 283: 2689-2695.

## A4.0



**FIELD INSPECTION REQUIRED**  
Prior to construction, the following items must be inspected and approved by the engineer: Foundation, walls, floors, roof, and exterior finish. The engineer will not be responsible for the quality of workmanship or materials used in the construction.

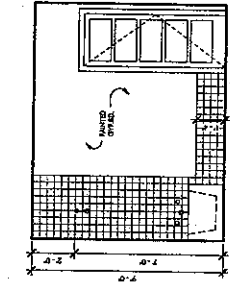
**BACKSPLASH NOTICE**  
The backsplash is to be installed at a minimum of 4 inches above the countertop and must extend the full width of the countertop. The backsplash must be made of a non-porous material and must be installed in a manner that allows it to be removed without damaging the countertop or the wall.

# 1701 Brackenridge

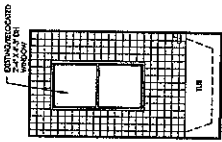
1701 Brackenridge Austin, Texas 78704

DATE	10/1/2024
PROJECT	1701 Brackenridge
OWNER	Chayonall, Inc.
DESIGNER	Chayonall, Inc.
PROJECT NUMBER	104
DATE	10/1/2024

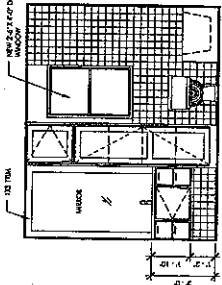
**A4.1**



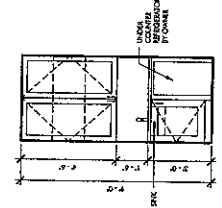
12 GUEST BATH - SOUTH  
3'8" x 1'0"



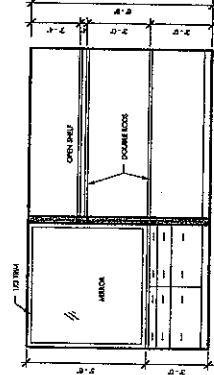
13 GUEST BATH - EAST  
3'8" x 1'0"



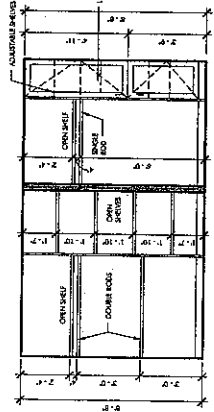
14 GUEST BATH - NORTH  
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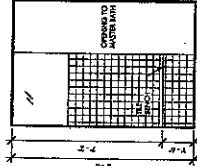
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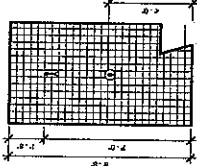
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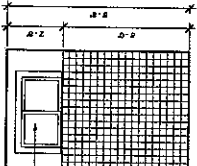
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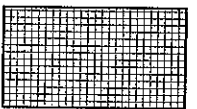
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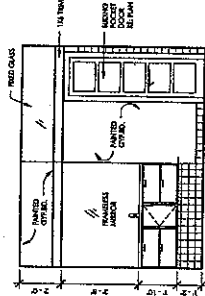
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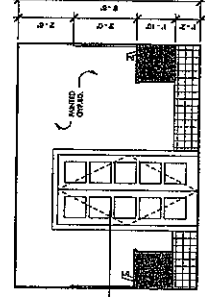
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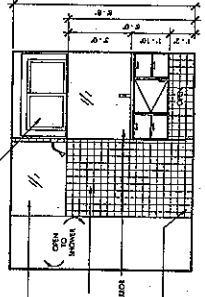
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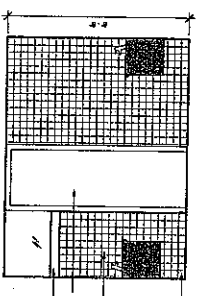
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2 MASTER BATH - SOUTH  
3'8" x 1'0"



3 MASTER BATH - EAST  
3'8" x 1'0"



4 MASTER BATH - NORTH  
3'8" x 1'0"



5 M.B. T.L. - SOUTH  
3'8" x 1'0"

1701 Brackenridge  
Austin, Texas 78704

[illegible]

**PERMITTED**  
NOT FOR CONSTRUCTION  
This drawing was prepared under contract for the purpose of illustrating the proposed design. It is not to be used for construction or for any other purpose without the written consent of the architect.

**FIELD INFORMATION REQUIRED**  
The architect has not performed a geotechnical investigation of the site. The owner is responsible for obtaining all necessary field information and for providing it to the architect.

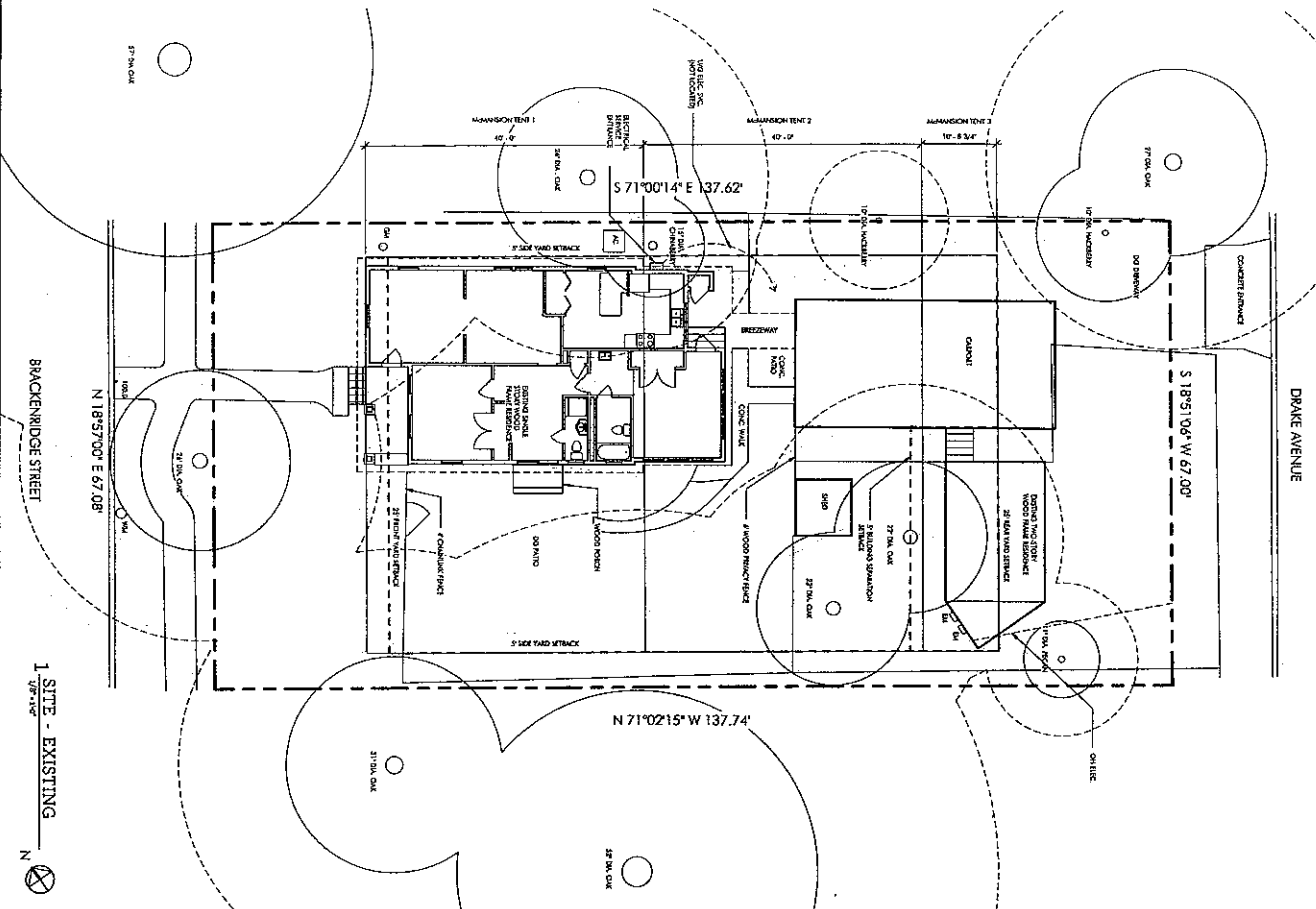
# 1701 Brackenridge

1701 Brackenridge Austin, Texas 78704

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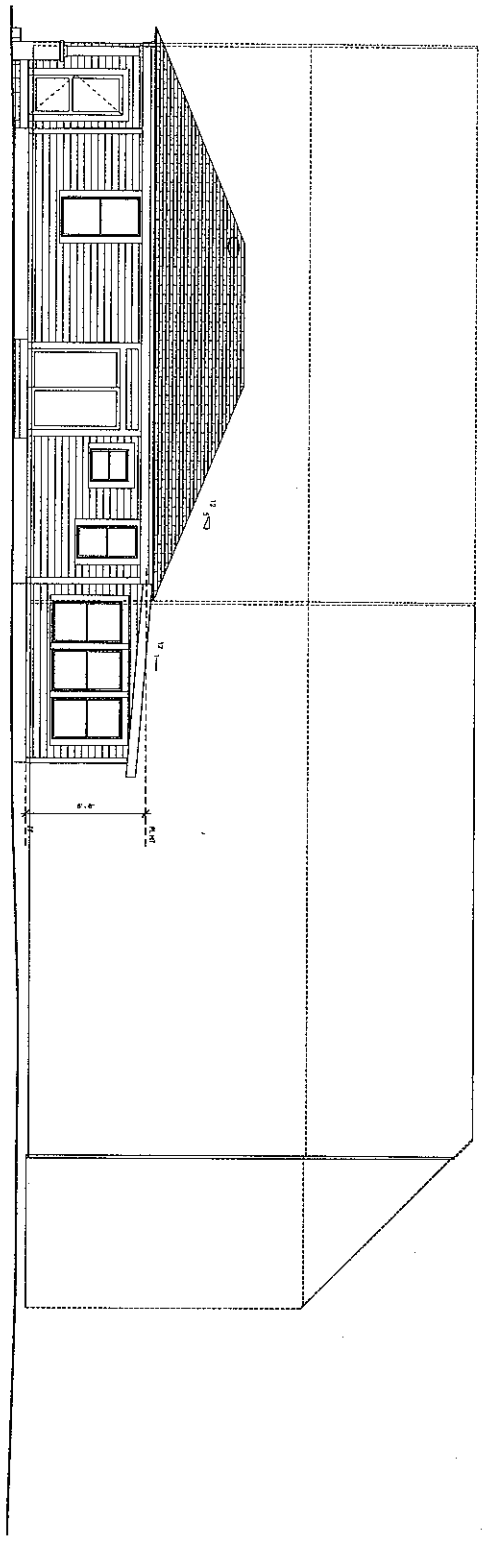
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1 SITE - EXISTING

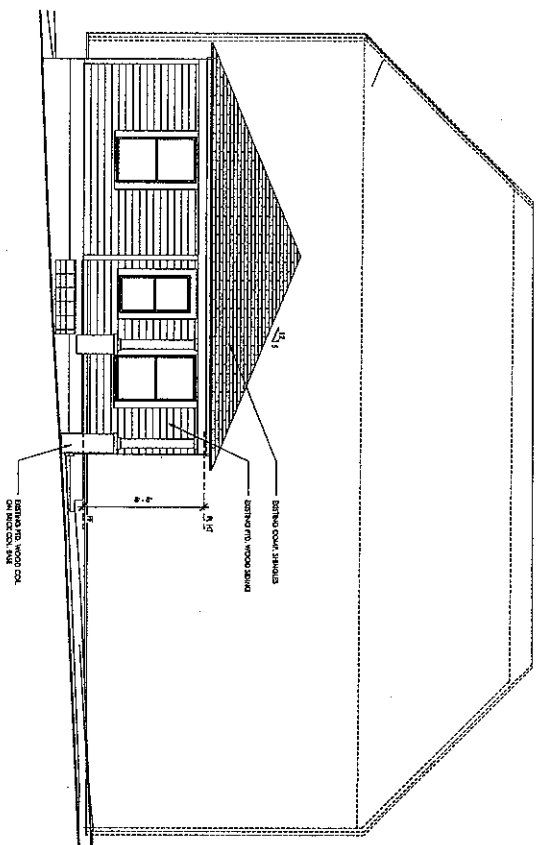








2 SOUTH ELEVATION  
1/8" = 1'-0"



1 WEST ELEVATION  
1/8" = 1'-0"

Architects  
Caywood Little  
1701 Brackenridge  
Austin, Texas 78704  
512.477.3337  
www.caywoodlittle.com

PRELIMINARY  
NOT FOR CONSTRUCTION  
This drawing was prepared solely for the purpose of illustrating the proposed design and is not intended to be used for any other purpose without the written consent of the architect.

FIELD INSPECTION REQUIRED  
This is a preliminary drawing and is not intended to be used for any other purpose without the written consent of the architect.

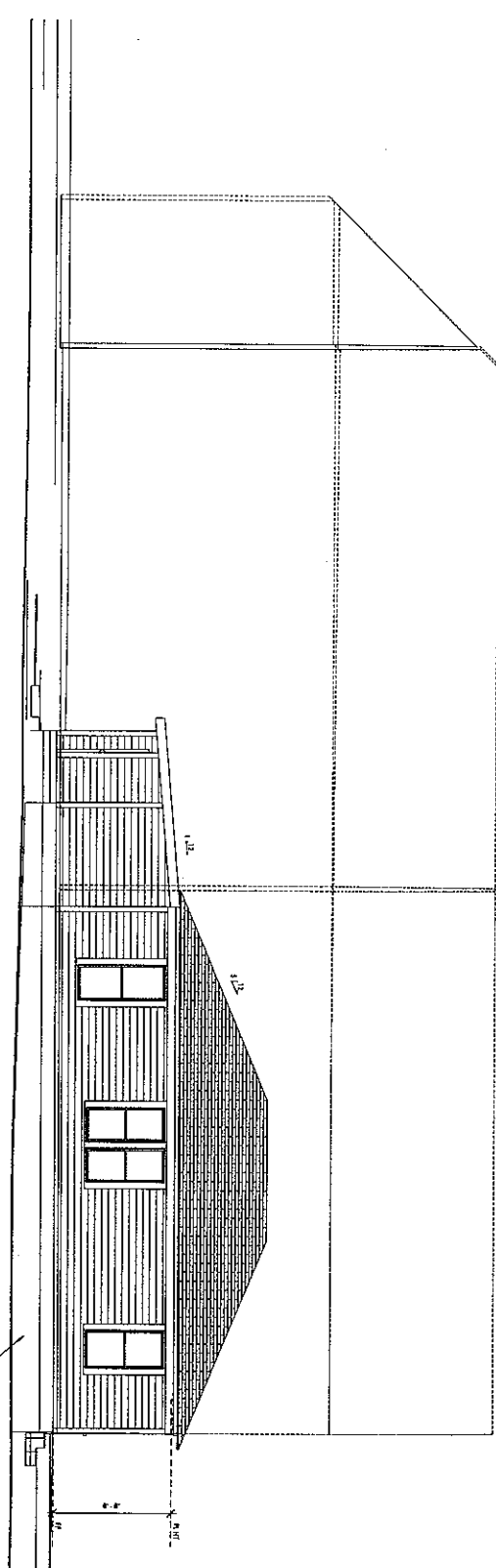
1701 Brackenridge  
Austin, Texas 78704  
512.477.3337  
www.caywoodlittle.com

# 1701 Brackenridge

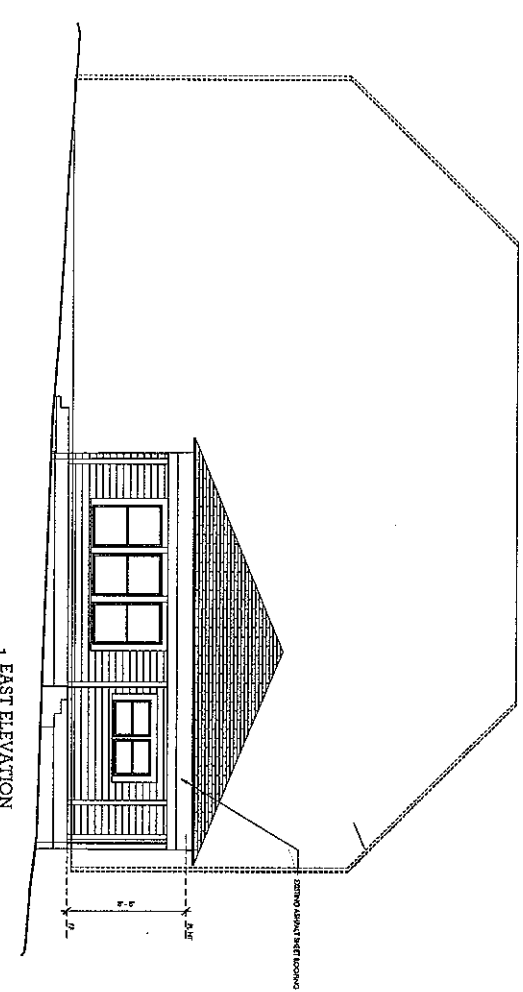
1701 Brackenridge Austin, Texas 78704

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BY	ARCHITECT
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A2.0



2 NORTH ELEVATION  
1/4\"/>



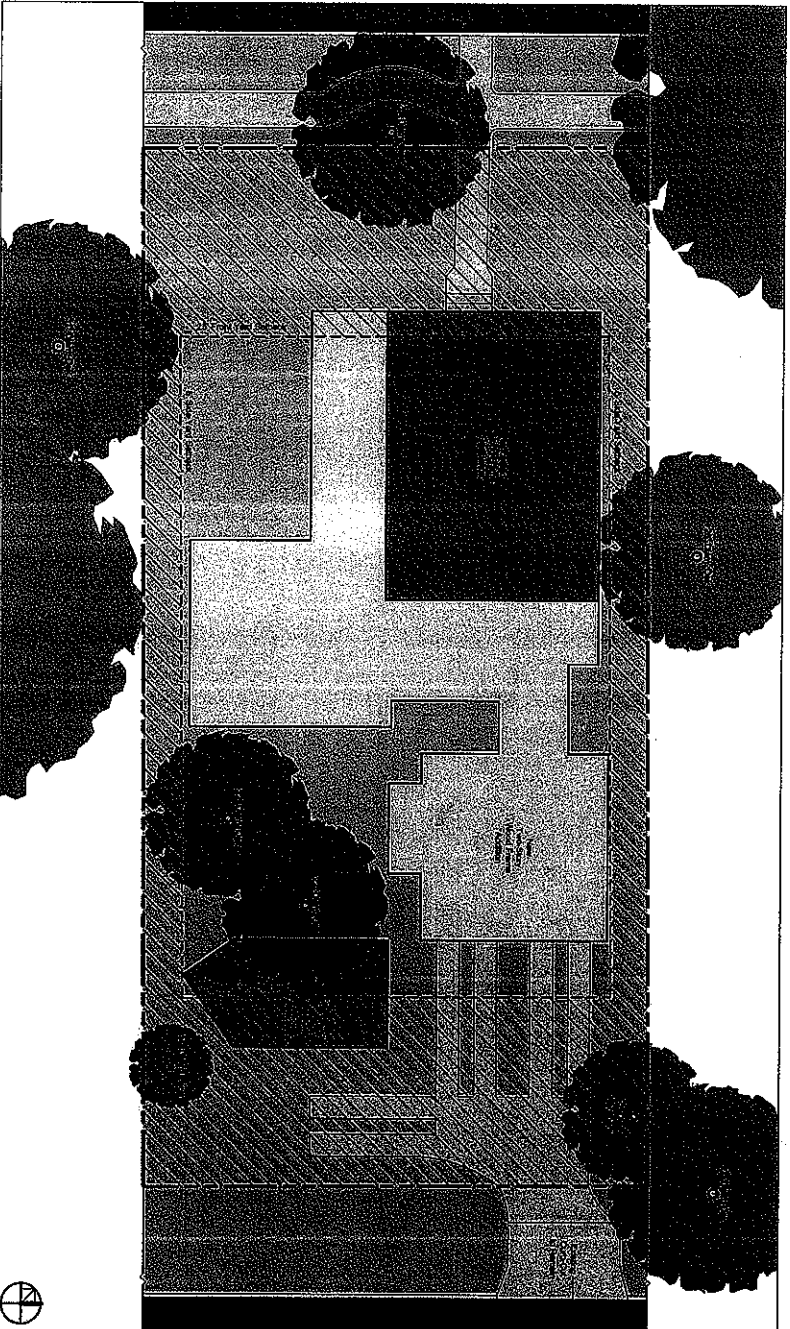
1 EAST ELEVATION  
1/4\"/>

# 1701 Brackenridge

1701 Brackenridge Austin, Texas 78704

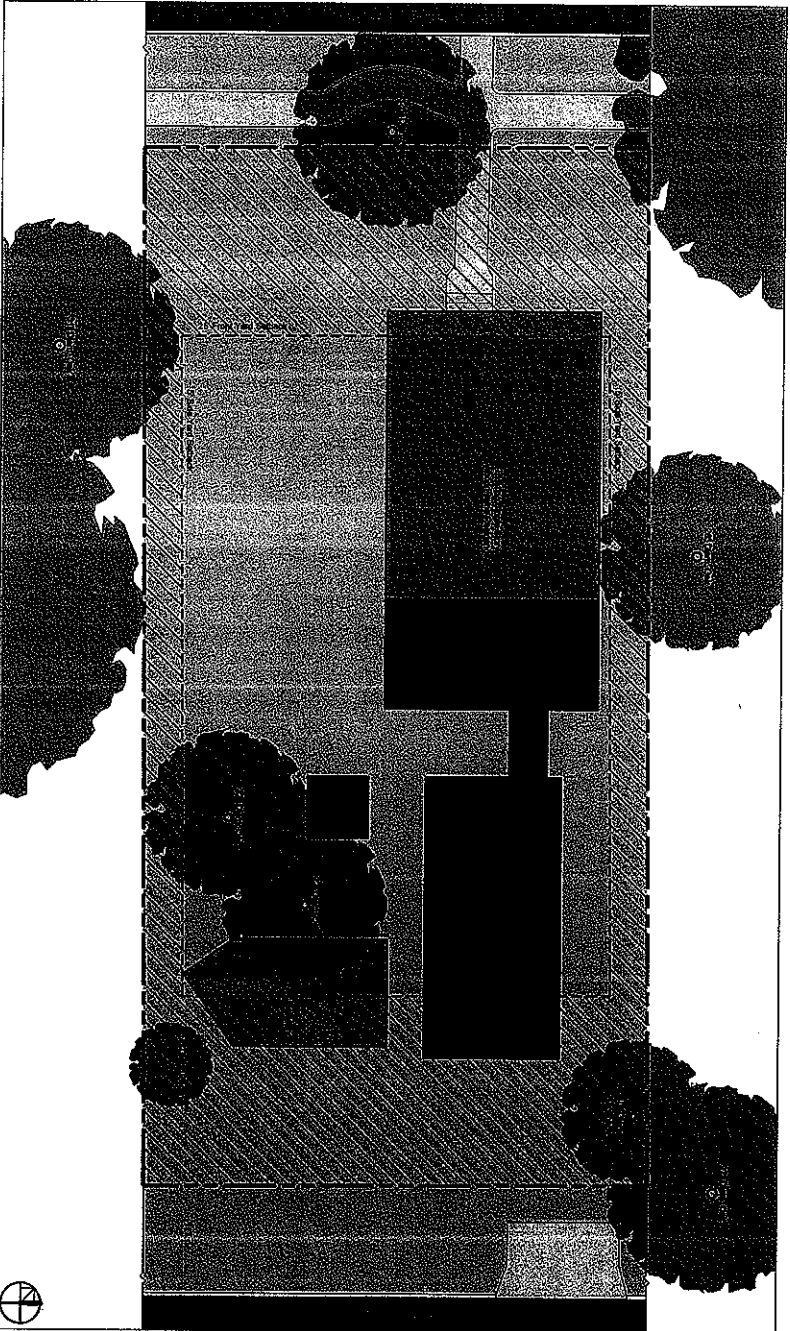
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EB



Residential Addition and Renovation  
Proposed Site Plan  
1701 Brackenridge, Austin, TX 78704

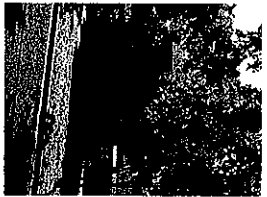
C15-2012-0062



Residential Addition and Renovation  
Existing Site Plan  
1701 Brackenridge, Austin, TX 78704



Protected Tree Adjacent to Two-Family Structure



Two-Family Structure from Drake Avenue



Existing Home from Brackenridge



Protected Tree Adjacent to Two-Family Structure

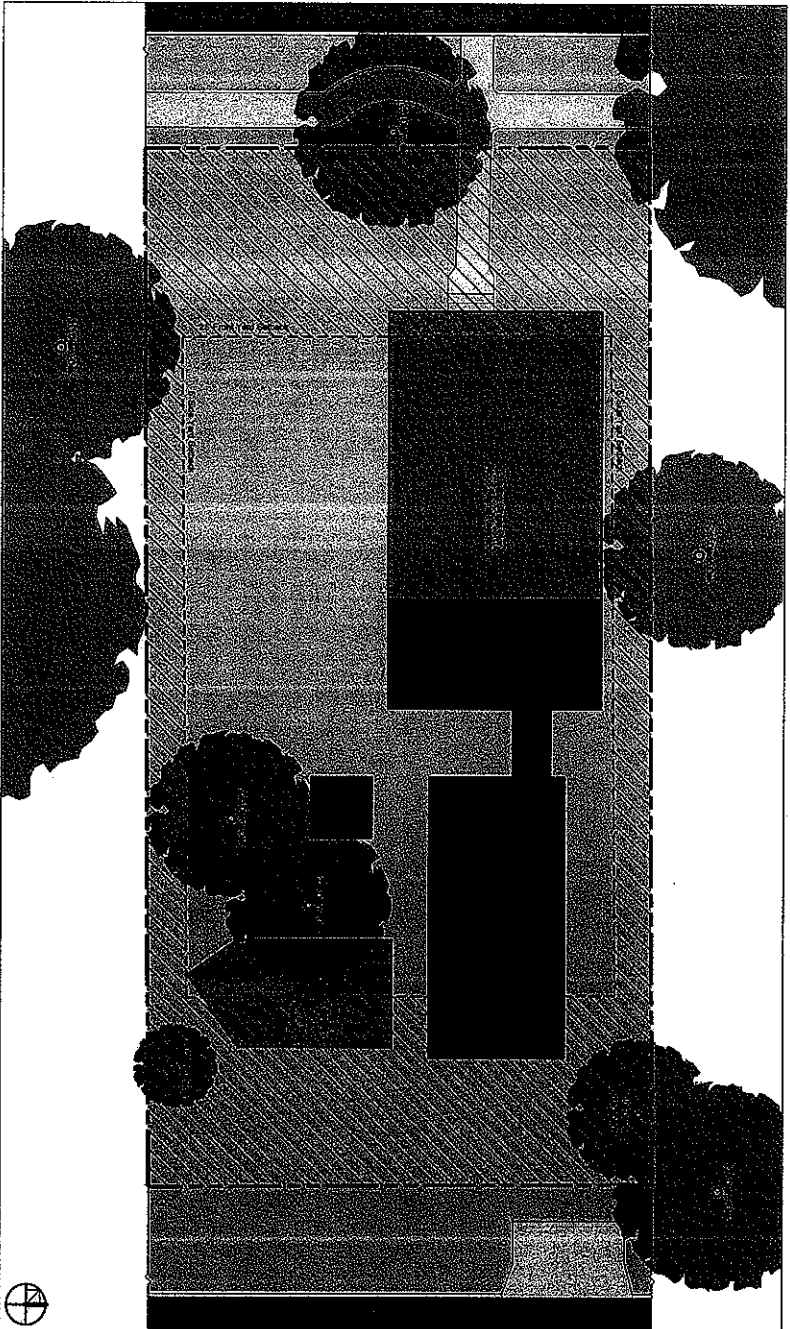


Two-Family Structure from Drake Avenue



View of Protected Trees from Brackenridge

Residential Addition and Renovation  
Existing Site Photographs  
1701 Brackenridge, Austin, TX 78704



Residential Addition and Renovation  
Existing Site Plan  
1701 Broadridge, Austin, TX 78704

[illegible]

<https://www.austlii.oz.au/au/other/auflife/abou/pubs/kyperwif/oldcordeva1a.jpg?i=outer-RSN-...> 30/03/2017

## 1986 Duplex Permit

### Residential Addition and Renovation Permit History

1701 Brackensridge, Austin, TX 78704

	Helen C. Olaus	1701 Breckenridge
125	B & W 21' or 9	128
	Pallister Park	
	Franco Det., Carport	
	69082	150.00
	4/28/75	
	D. S. Jones	-
Carport		

## 1958 Carport Permit

1702, Buckenridge St	126	8 Mo. 21 <sup>st</sup> of Jan 9	8 C. Boston Glass
		Polystyrene Paint	125
		Remodel & Repair present Room to create duplex	
	150.00	6/27/59	73192
			O. H. Ludwig

**Due to:**

## 1959 Duplex Permit



1710 Drake Avenue



1710 Drake Avenue



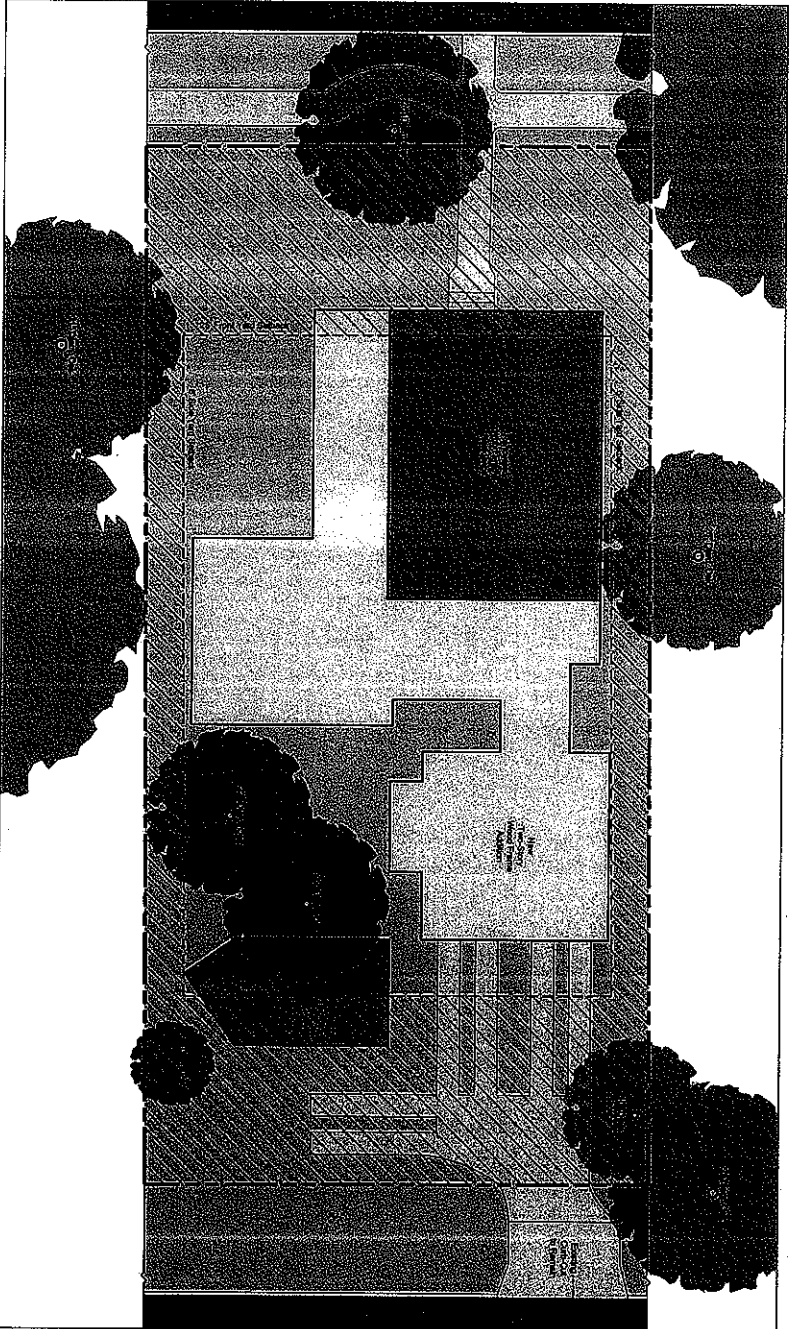
1712 Drake Avenue



1712 Drake Avenue

Residential Addition and Renovation  
**Adjacent Two-Family Properties**  
1701 Beckenridge Austin, TX 78704





Residential Addition and Renovation  
Proposed Site Plan  
1701 Sandridge, Austin, TX 78704



City of Austin  
Planning and Development Review  
Land Status Determination  
1995 Rule Paving Exception  
December 28, 2011


File Number: C81-281-0286  
Address: 1701 BRACKENRIDGE ST  
Tax Parcel ID: # 020201305 Tax Map Date: 03/14/2011

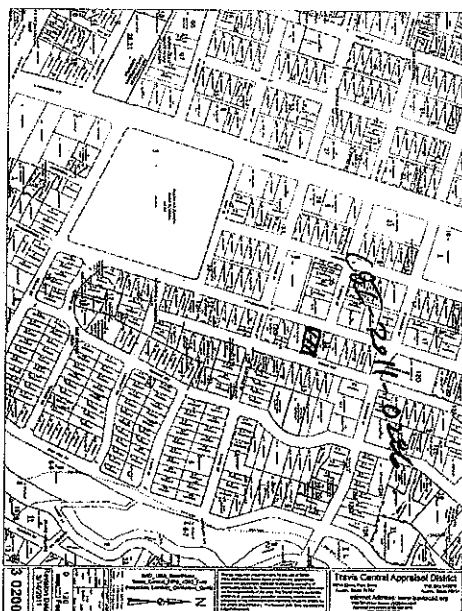
The Warranted Provisions & Development Review has determined that this parcel, as described in the attached description and map, IS EXCEPTED FROM THE REQUIREMENT TO PLAT in accordance with the Land Development Code, Section 25-4-2(C), and is eligible to receive utility service.

The parcel of land consists of five acres or less, and is described as being Lot 3 and the North 21 of Lot 9, Block 12 Q, Fairview Park, in the current deed, recorded on Aug 06, 2006, in Document #200612345, Travis County Deed. The parcel was previously owned by the same owner as the parcel described by a deed recorded on Sep 10, 1986, in Document #198612345, Travis County Deed Records. The parcel was lawfully receiving utility service, as defined in Section 12.012 of the Texas Local Government Code, on January 1, 1995, as evidenced by wastewater service on Oct 14, 1983. The parcel meets the requirements of the Land Development Code for roadway frontage and is located on an existing street.

Additional Notes/Conditions:  
NONE

This determination of the status of the property is based on the application of Chapter 112, Municipal Regulation of Subdivisions and Property Development, Texas Local Government Code and the City of Austin Land Development Code, Chapter 25-4, Subdivision. Recognition hereby does not imply approval of any other applicable City Code or any other regulation.

By:   
Daniel Word, Representative of the Director  
Planning and Development Review



Residential Addition and Renovation  
Land Status Determination  
1701 Brackendge, Austin, TX 78704

1701 Brackenridge  
Austin, Texas 78704

1701 Brackenridge  
Austin, Texas 78704

**OWNER INFORMATION**

Name \_\_\_\_\_  
Address \_\_\_\_\_  
City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

**LEGAL DESCRIPTION**

\_\_\_\_\_

### LEGAL DESCRIPTION

SYMBOL Legend

The diagram illustrates the human circulatory system. It shows the heart in the center, with four chambers: the right atrium and ventricle, and the left atrium and ventricle. Arrows indicate the direction of blood flow. Red lines represent oxygenated blood, and blue lines represent deoxygenated blood. The diagram includes the lungs at the top and the rest of the body at the bottom. Labels include 'Heart', 'Lungs', 'Body', 'Oxygenated blood', and 'Deoxygenated blood'.

**SITE INFORMATION**  
 15000 Highway 231, Box 90, Mt. Holly, NJ 08060  
 609-261-1600 ext. 111, 112, 113

**ZONING INFORMATION**  
 R-1

## ZONING INFORMATION

## CODE ANALYSIS

[illegible]

## 1. STATE OF EXISTING

Residential Addition and Renovation  
Existing Site Plan  
1701 Brackendale, Austin, TX 78704

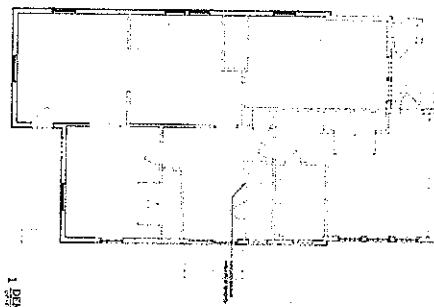
GI.O

1701 Brackenridge

© 1994 Blackwell Science Ltd, *Journal of Internal Medicine* 235: 379–384



Residential Addition and Renovation  
Demolition Plan  
1701 Brackenridge Austin, TX 78704



1 DEMOLITION PLAN

D1.0

1701 Brackenridge

1701 Brackenridge Austin, Texas 78704

SCALE: 1/8" = 1'-0"



Architect  
1701 Brackenridge Austin, Texas 78704  
Phone: (512) 333-1111  
Fax: (512) 333-1112  
Email: info@brackenridge.com  
Website: www.brackenridge.com





**CONTACT**  
Crymchellville

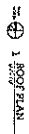
1701 Brackenridge

© 2001 Blackwell Science Ltd, *Journal of Internal Medicine* 250: 459–464

2 SECOND FLOOR PLAN

## A1.2

**Residential Addition and Renovation  
Second Floor Plan**  
1701 Brackendale, Austin, TX 78704

[illegible]

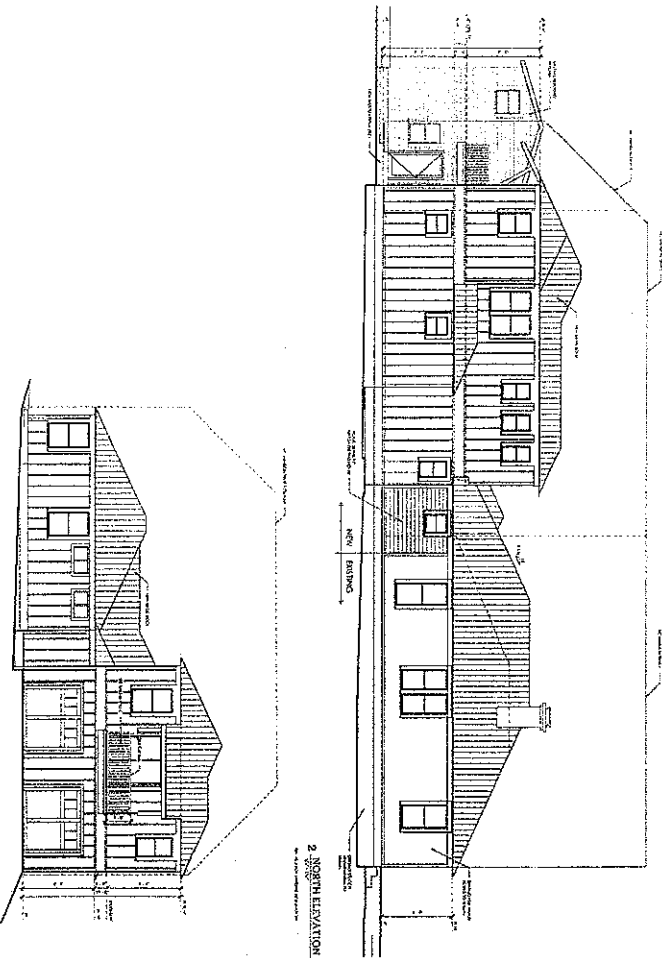
1704 Broadway, Austin, Texas 78744



**Appendix A**  
**Chlorinated solvents**

**Residential Addition and Renovation  
Roof Plan**  
1701 Brackenridge, Austin, TX 78704





1 EAST ELEVATION

2 NORTH ELEVATION

A2.1

1701 Brackenridge

1701 Brackenridge, Austin, Texas 78704

Residential Addition and Renovation  
North and East Elevations  
1701 Brackenridge, Austin, TX 78704